

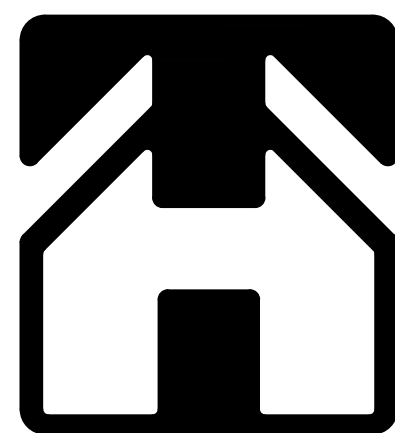
HILLSBURGH TRAILS SUBDIVISION

9354 WELLINGTON ROAD 22

DRAFT PLAN APPROVAL

TOWN OF ERIN, WELLINGTON COUNTY

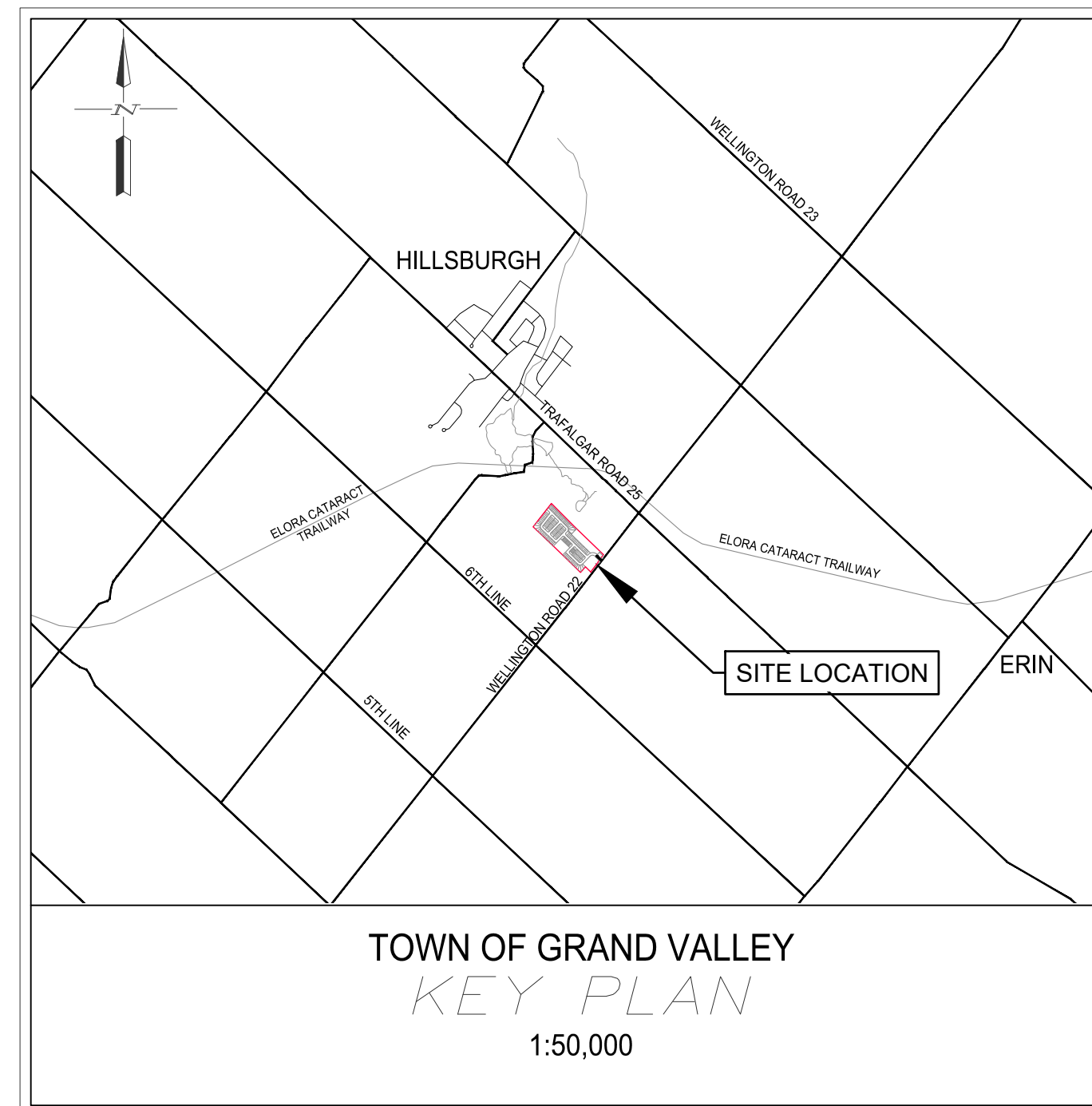
DEVELOPER



Thomasfield Homes Ltd.
PO Box 1112
295 Southgate Drive, Unit 1
Guelph, ONT.



GUELPH | OWEN SOUND | LISTOWEL | KITCHENER | LONDON | HAMILTON | GTA
650 WOODLAWN ROAD WEST, BLOCK C, UNIT 2, GUELPH, ON N1K 1B8
TEL: 519-824-8150
www.gmbblueplan.ca



INDEX

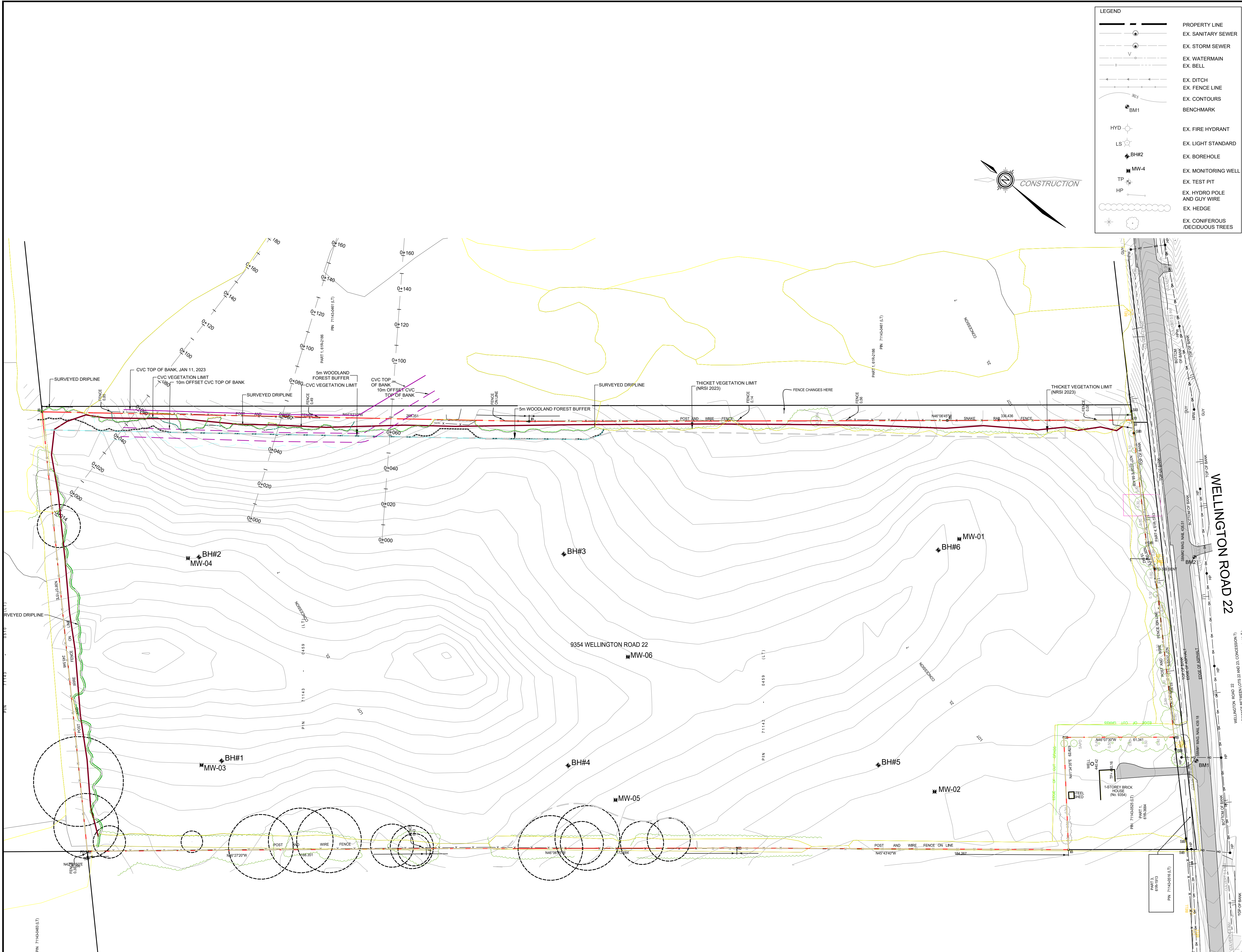
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11
12
SPS

SHEET TITLE

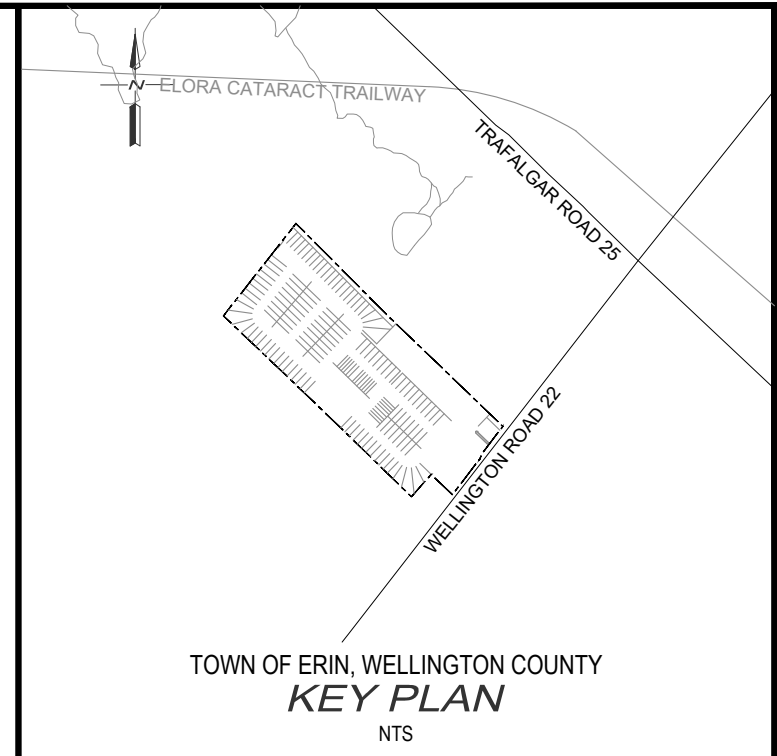
EXISTING CONDITIONS PLAN
CONSTRAINTS PLAN
OVERALL SERVICING PLAN 1
OVERALL SERVICING PLAN 2
GRADING PLAN 1
GRADING PLAN 2
GRADING PLAN 3
GRADING PLAN 4
STORMWATER MANAGEMENT POND PROFILE
STORMWATER MANAGEMENT POND SECTIONS AND DETAILS
STORM SEWER CATCHMENT AREAS
SANITARY SEWER CATCHMENT AREAS
EROSION AND SEDIMENT CONTROL PLAN
SEWAGE PUMPING STATION (CONCEPT ONLY)

FILE: \\Work\THOMASFIELD HOMES\121132 Hillsburgh Subdivision\Work in Progress\Drawings\Sheet\121132_CP.dwg LAYOUT: 121132 CONSTRAINTS
LAST SAVED BY: Paumotu070, 11/20/2024 11:59:09 AM PLOTTED BY: Paumotu070, 11/20/2024 12:02:37 PM



LEGEND

	PROPERTY LINE
	EX. SANITARY SEWER
	EX. STORM SEWER
	EX. WATERMAIN
	EX. BELL
	EX. DITCH
	EX. FENCE LINE
	EX. CONTOURS
	BENCHMARK
	EX. FIRE HYDRANT
	EX. LIGHT STANDARD
	EX. BOREHOLE
	EX. MONITORING WELL
	EX. TEST PIT
	EX. HYDRO POLE AND GUY WIRE
	EX. HEDGE
	EX. CONIFEROUS/DECIDUOUS TREES



- NOTES:**
1. DRAFT PLAN PREPARED BY GSP GROUP DATED MARCH 8, 2023.
 2. TOPOGRAPHIC SURVEY INFORMATION, FROM VAN HARTEN SURVEYING INC., JUNE 2016, MOST RECENTLY UPDATED, FOR CVC TOP OF BANK, JANUARY 2023.
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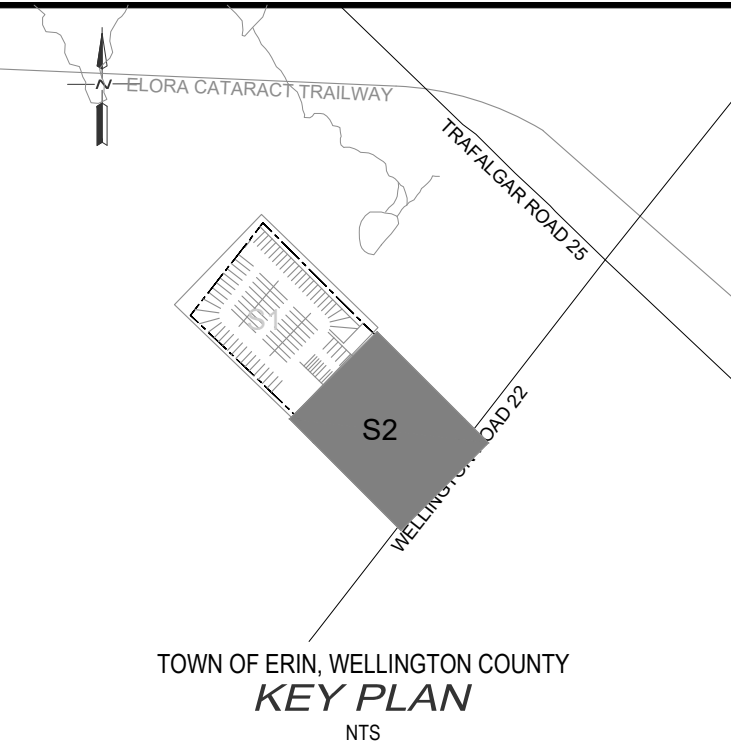
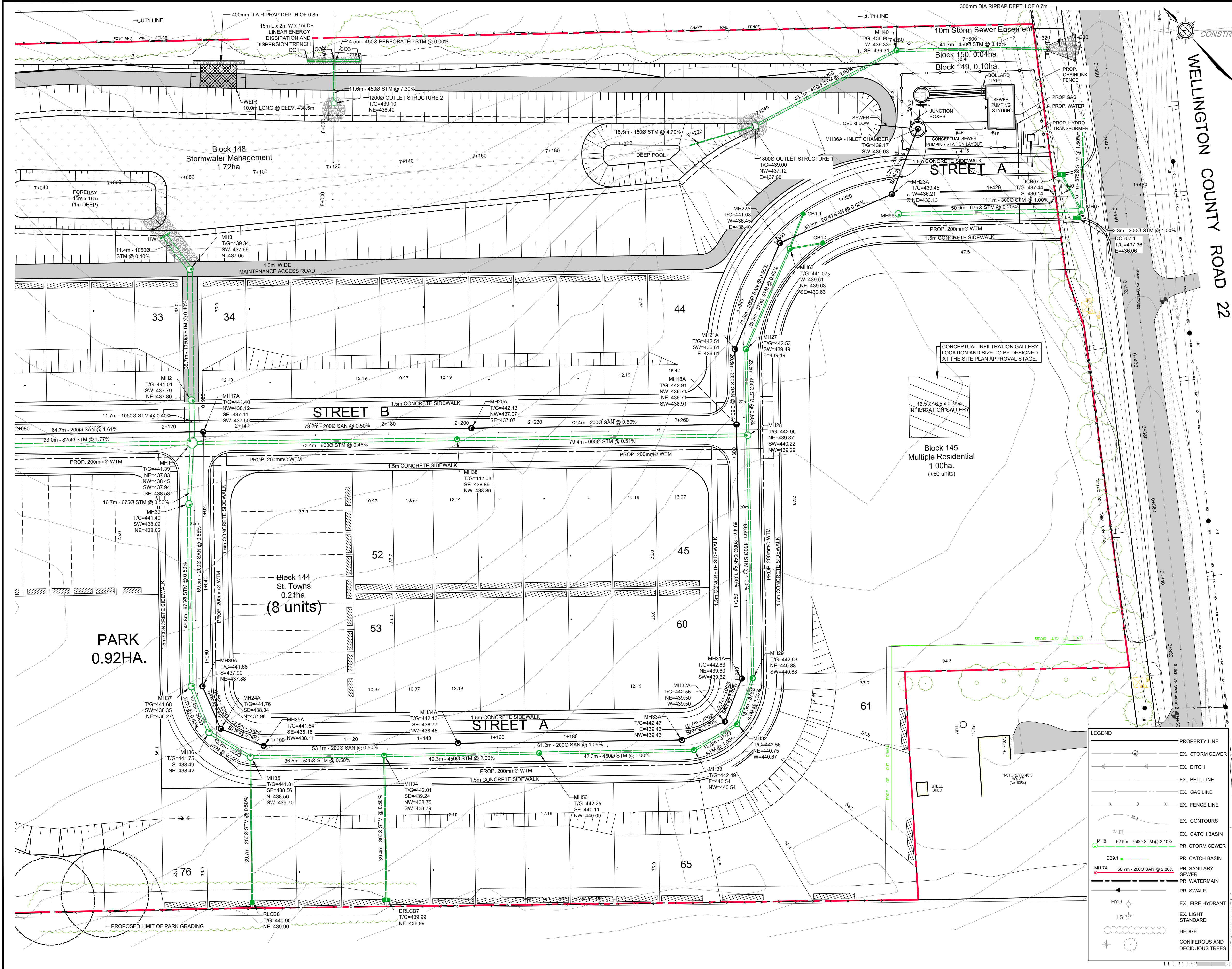


NO.	DATE	REVISION DESCRIPTION	CHKD.
1	2024-11-07	REVISED PER TOWNS COMMENTS	A.E.K.
2	2024-02-16	ADDED SIDEWALK TO BOTH SIDES OF ROADS	A.E.K.
3	2023-10-06	ISSUED FOR DRAFT PLAN APPROVAL	A.E.K.

BluePlan
ENGINEERING

GUELPH | OWEN SOUND | LISTOWEL | KITCHENER | LONDON | HAMILTON | GTA
650 WOODLAWN ROAD WEST, BLOCK C, UNIT 2, GUELPH, ON N1K 1B8
TEL: 519-824-8100 www.blueplan.ca

HILLSBURGH TRAILS SUBDIVISION 9354 WELLINGTON ROAD 22			
THOMASFIELD HOMES			
TOWN OF ERIN, WELLINGTON COUNTY			
CONSTRAINTS PLAN			
DRAWN BY: RPM	APPROVED BY: AEK	PROJECT NO.: 121132	DRAWING NO.: 1B
DESIGNED BY: RPM	DATE: 2022-01-07	SCALE: 1:1000	



NOTES:

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NO.	DATE	REVISION DESCRIPTION	CHKD
3	2024-11-07	REVISED PER TOWNS COMMENTS	A.E.K.
4	2024-11-08	ADDED SIDEWALK TO BOTH SIDES OF ROADS	A.E.K.
5	2024-11-08	ISSUED FOR DRAFT PLAN APPROVAL	A.E.K.

BLUE PLAN ENGINEERING

GUELPH | OWEN SOUND | LISTOWEL | KITCHENER | LONDON | HAMILTON | GTA
650 WOODLAWN ROAD WEST, BLOCK C, UNIT 2, GUELPH, ON N1K 1B8
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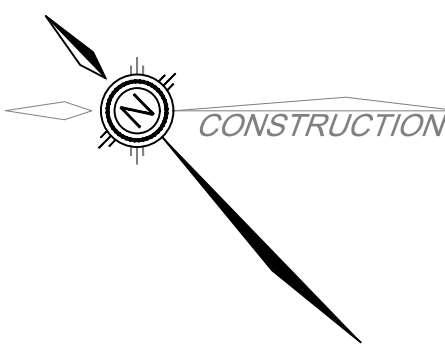
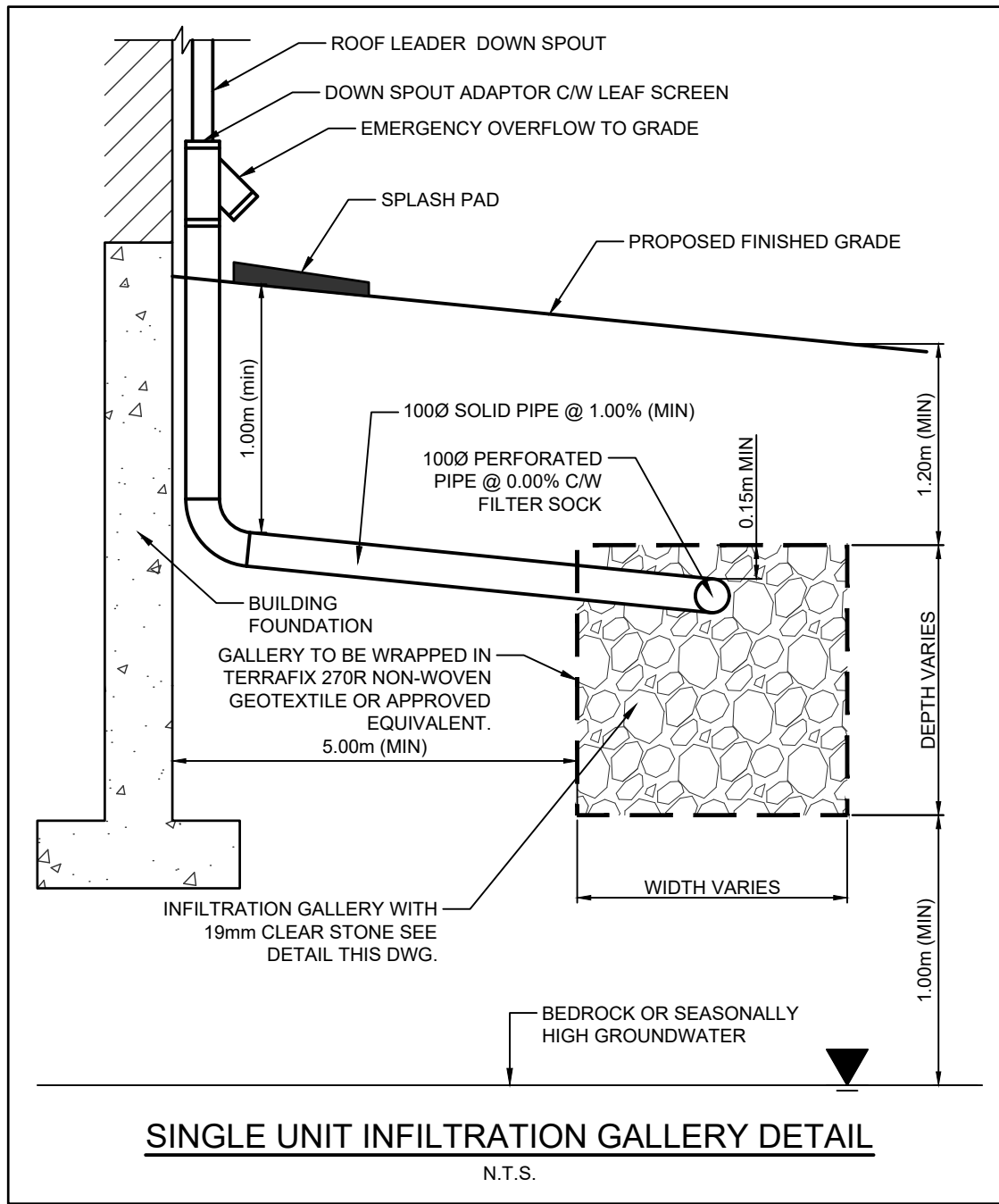
THOMASFIELD HOMES

TOWN OF ERIN,
WELLINGTON COUNTY

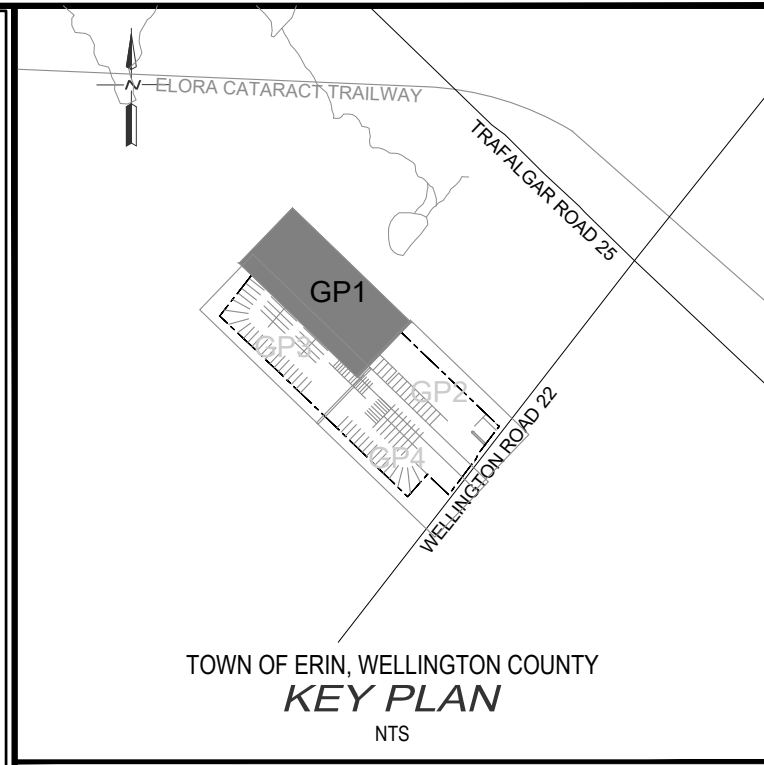
OVERALL SERVICING PLAN 2

DRAWN BY:	APPROVED BY:	PROJECT NO.:	DRAWING NO.:
RPM	AEK	121132	3
DESIGNED BY:	DATE:	SCALE:	
RPM	2022-01-07	1:500	

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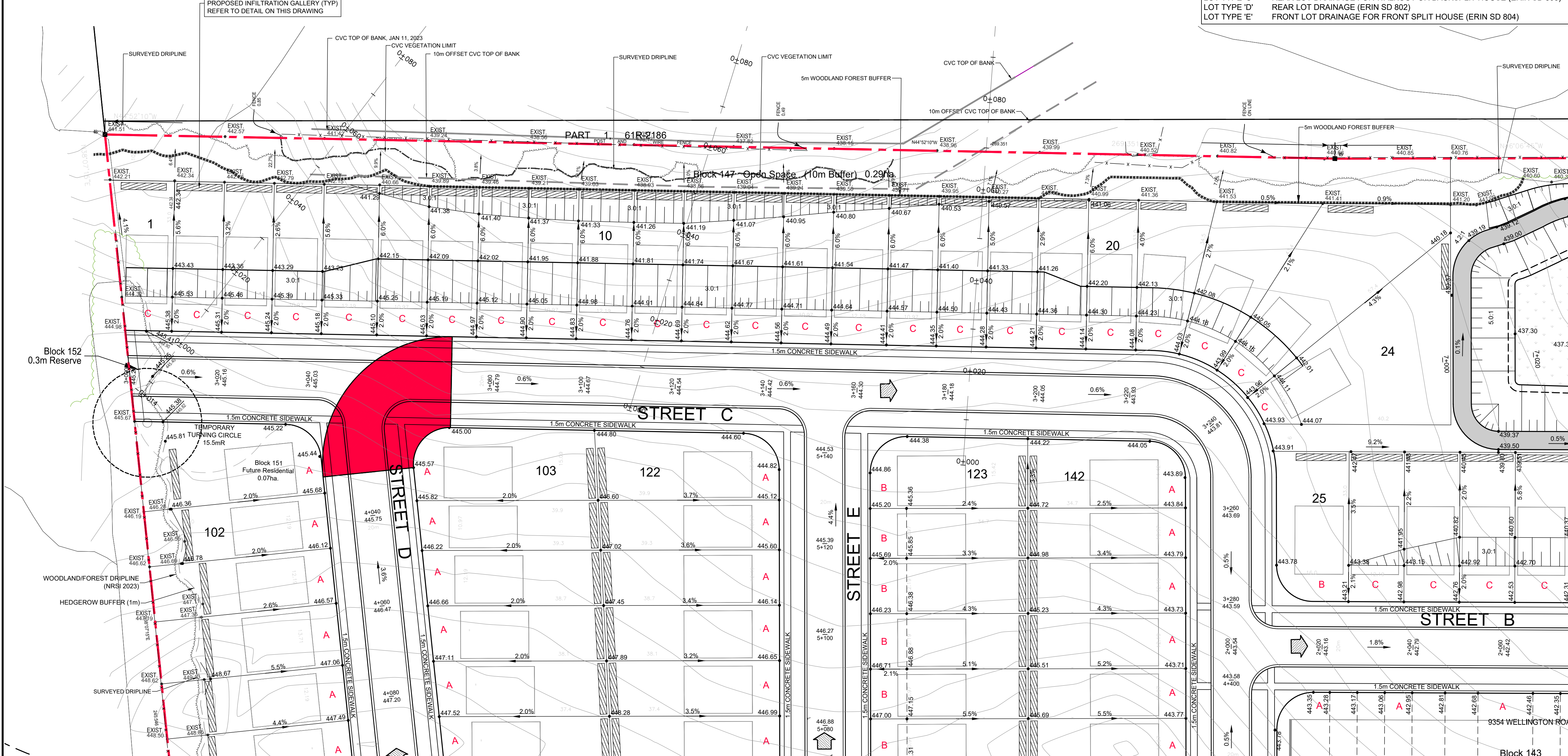


LEGEND	
	PROPERTY LINE
	EX. SANITARY SEWER
	EX. STORM SEWER
	EX. WATERMAIN
	EX. BELL
	EX. WIGHTMAN
	EX. DITCH
	EX. FENCE LINE
	EX. CONTOURS
	EX. FIRE HYDRANT
	EX. LIGHT STANDARD
	EX. BOREHOLE
	EX. MONITORING WELL
	EX. HYDRO POLE AND GUY WIRE
	EX. HEDGE
	EX. CONIFEROUS /DECIDUOUS TREES
	PROP. SANITARY SEWER
	PROP. TOP INLET STORM SEWER
	PROP. TOP INLET CATCH BASIN
	PROP. WATERMAIN
	PROP. FIRE HYDRANT
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	MATCH EXIST. GRADE
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LOT TYPE 'E' FRONT LOT DRAINAGE FOR FRONT SPLIT HOUSE (ERIN SD 804)



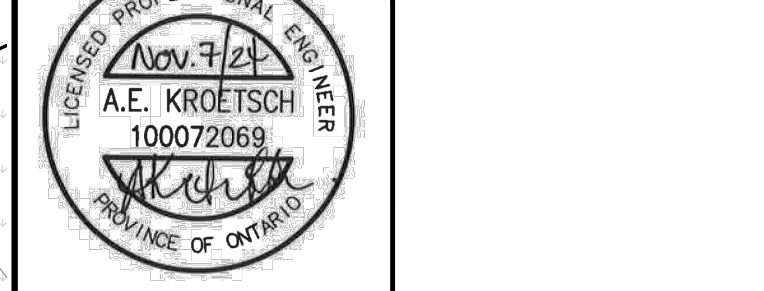
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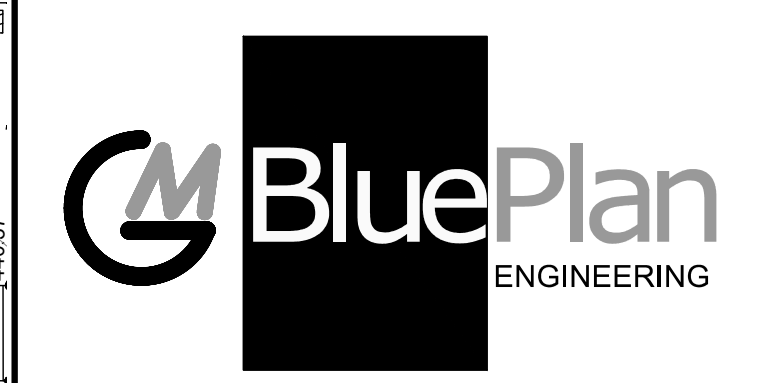
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2	2024-02-18	ADDED SIDEWALK TO BOTH SIDES OF ROADS	A.E.K.
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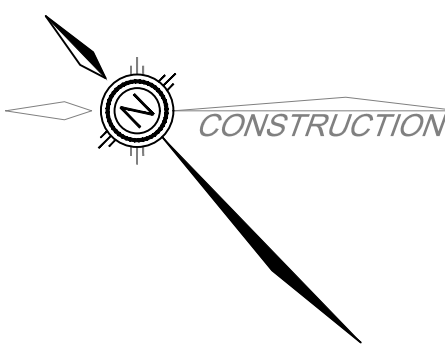
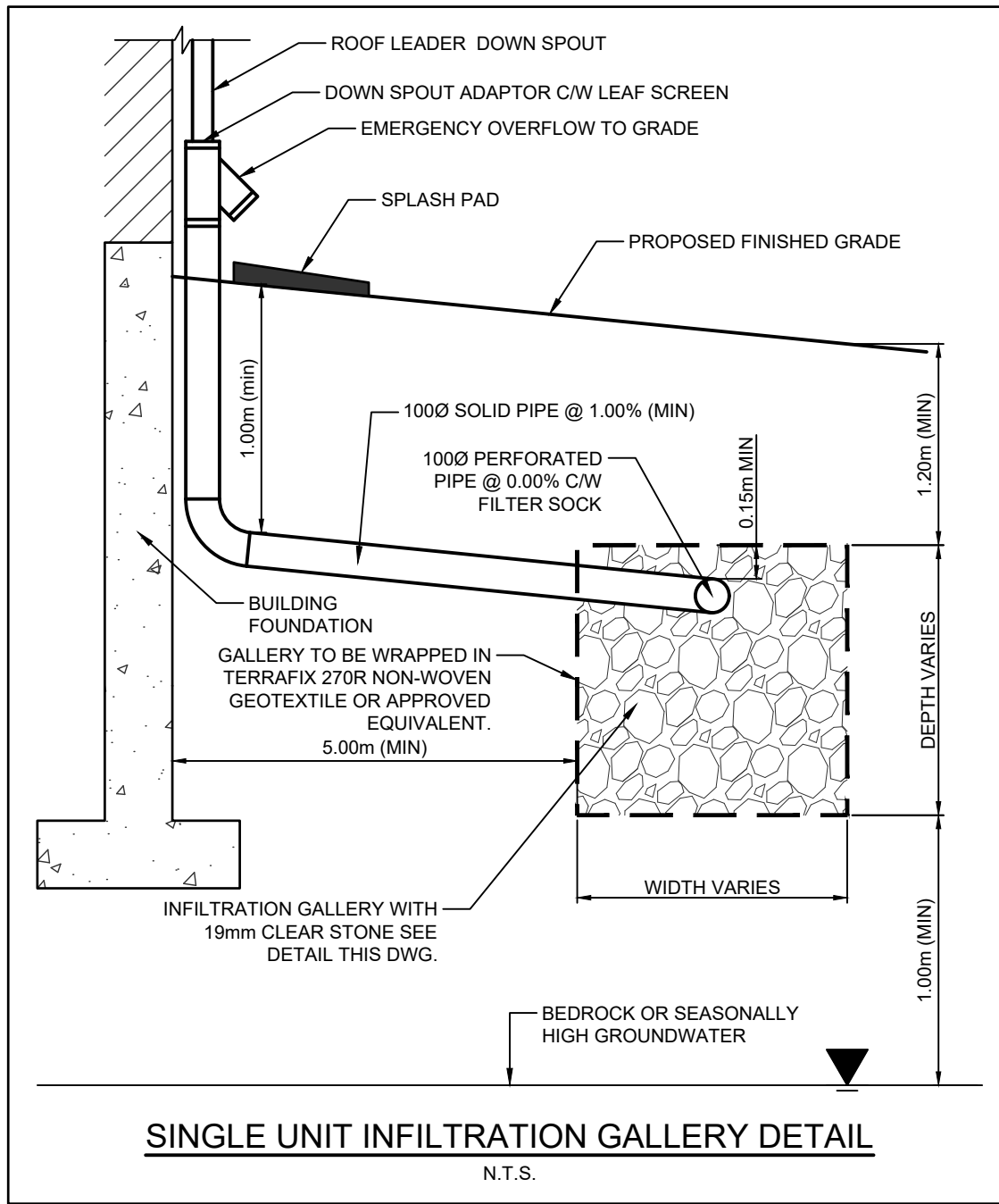
HILLSBURGH TRAILS SUBDIVISION
9354 WELLINGTON ROAD 22

THOMASFIELD HOMES

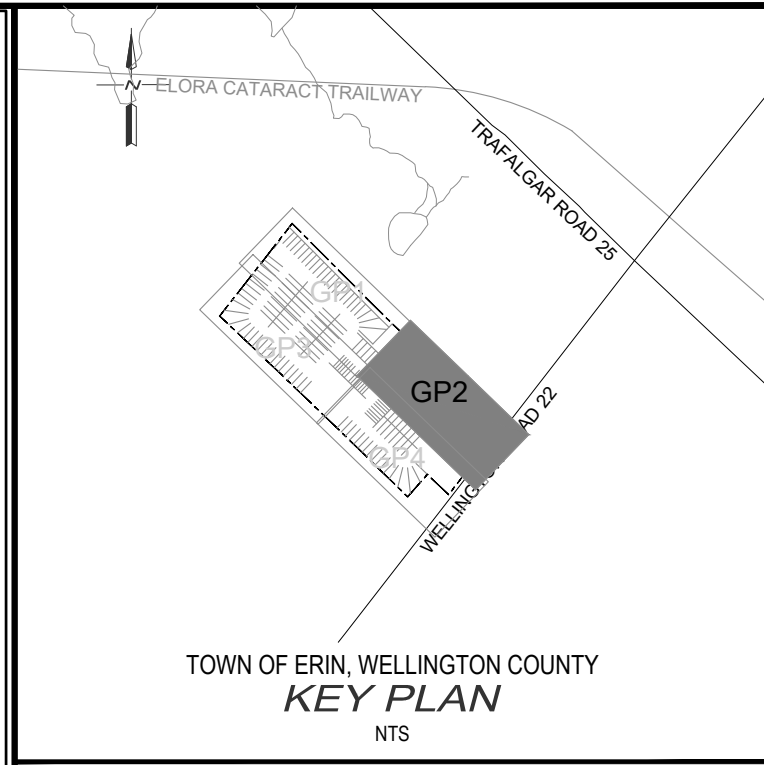
TOWN OF ERIN,
WELLINGTON COUNTY

GRADING PLAN 1

DRAWN BY: RPM	APPROVED BY: AEK	PROJECT NO.: 121132	DRAWING NO.: 4
DESIGNED BY: RPM	DATE: 2022-01-07	SCALE: 1:500	

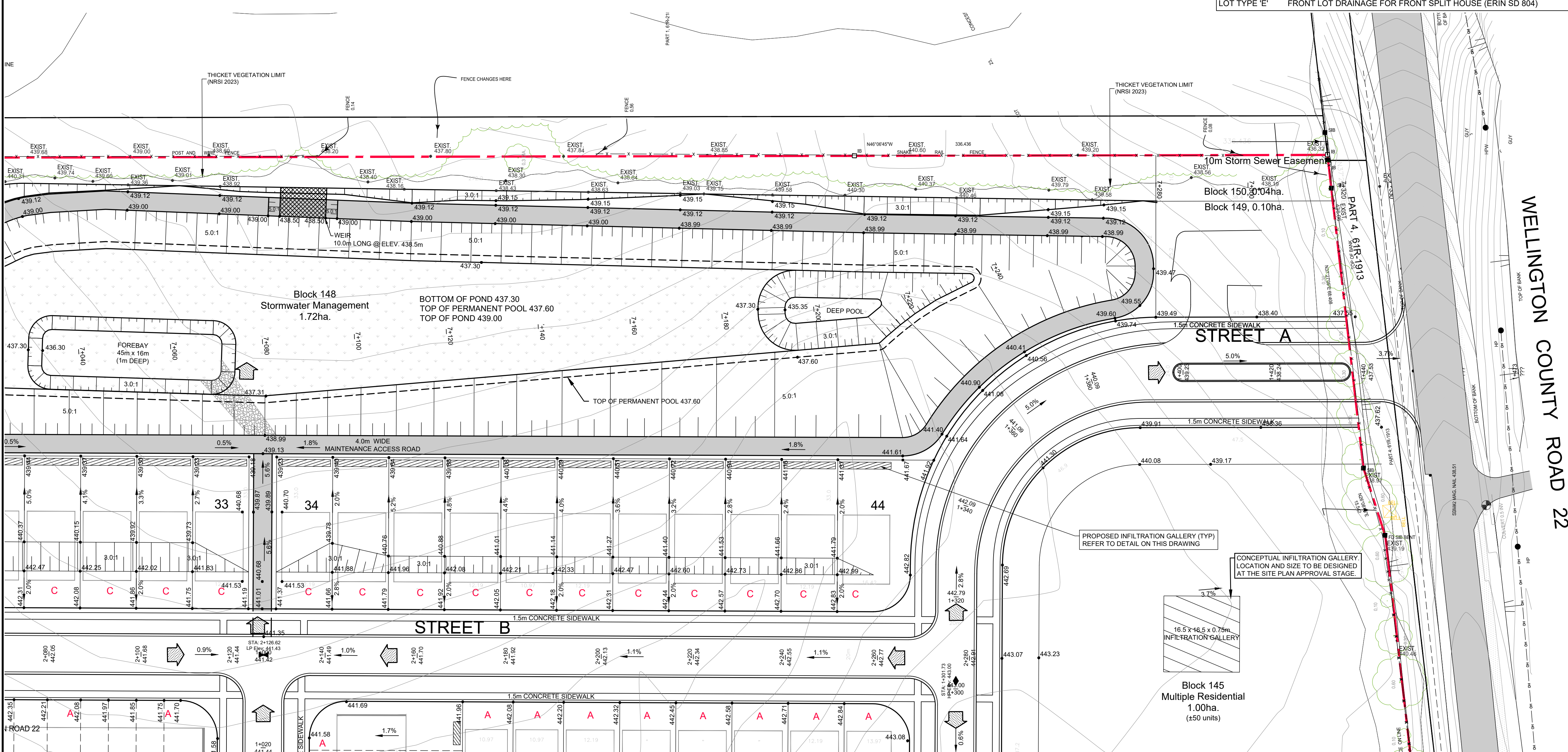


LEGEND	
	PROPERTY LINE
	EX. SANITARY SEWER
	EX. STORM SEWER
	EX. WATERMAIN
	EX. BELL
	EX. DITCH
	EX. FENCE LINE
	EX. CONTOURS
	EX. FIRE HYDRANT
	EX. LIGHT STANDARD
	EX. BOREHOLE
	EX. MONITORING WELL
	EX. HYDRO POLE AND GUY WIRE
	EX. HEDGE
	EX. CONIFEROUS /DECIDUOUS TREES
	PROP. SANITARY SEWER
	PROP. TOP INLET STORM SEWER
	PROP. TOP INLET CATCH BASIN
	PROP. WATERMAIN
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	PROP. GRADE
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	DRAINAGE FLOW
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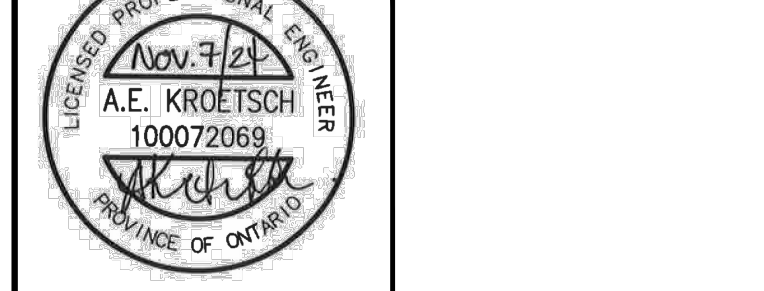
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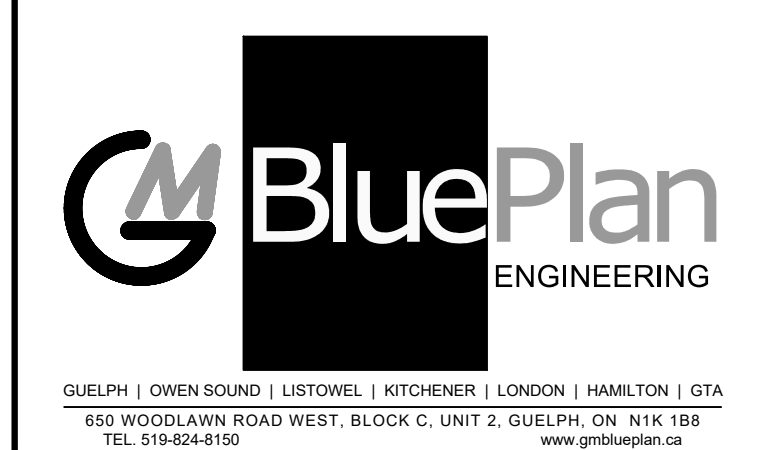
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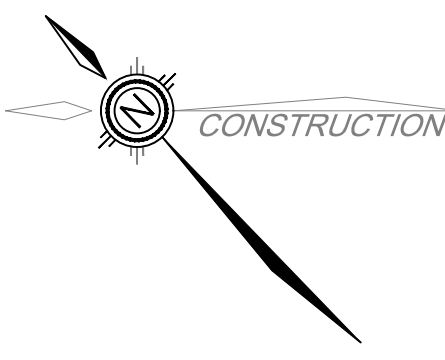
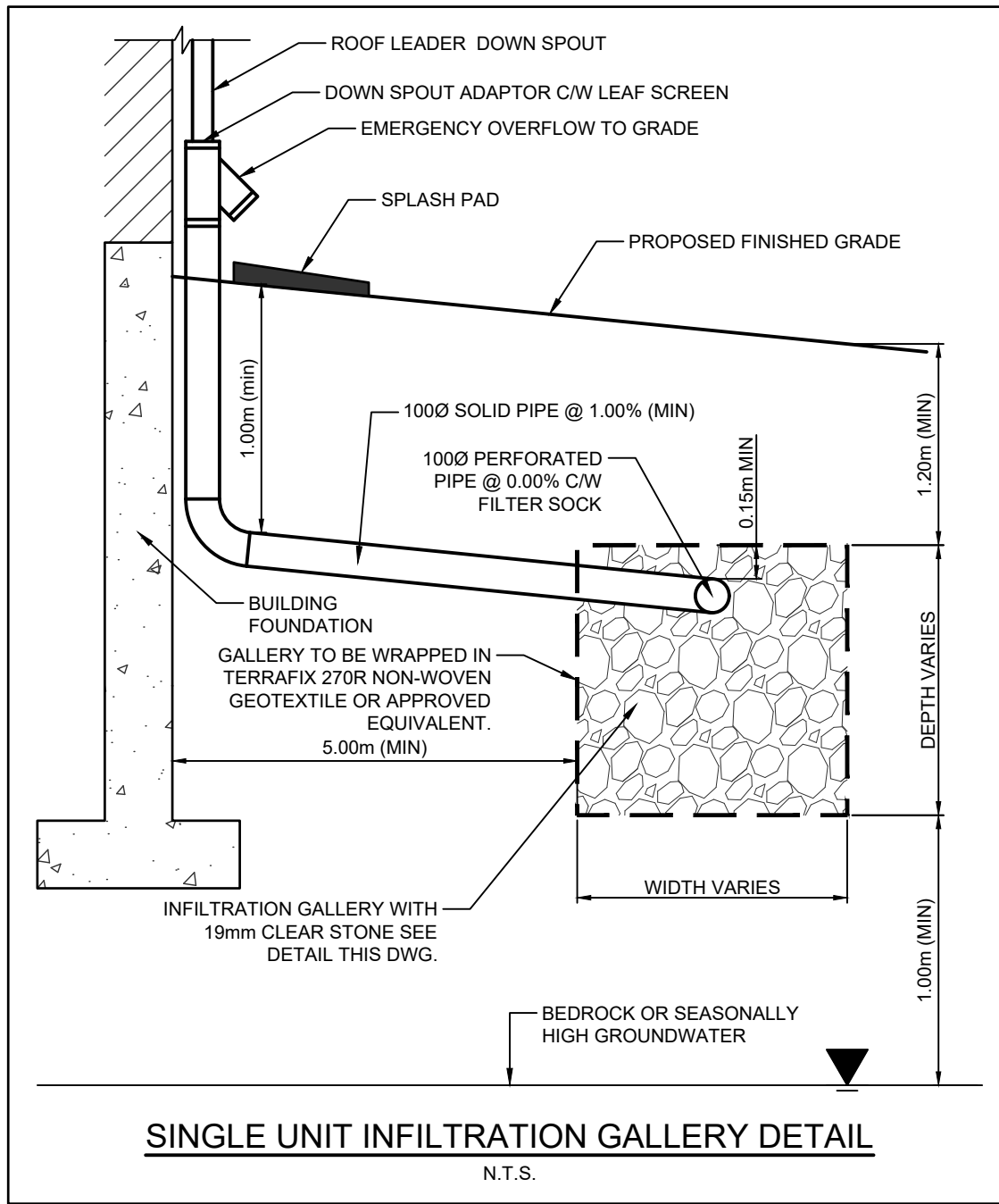
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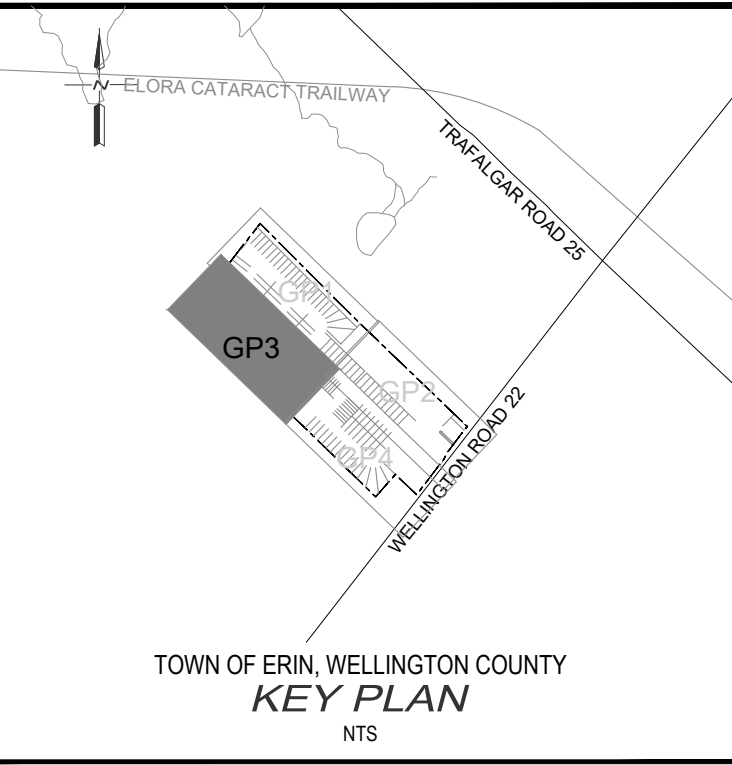
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HILLSBURGH TRAILS SUBDIVISION 9354 WELLINGTON ROAD 22			
THOMASFIELD HOMES			
TOWN OF ERIN, WELLINGTON COUNTY			
GRADING PLAN 2			
DRAWN BY: RPM	APPROVED BY: AEK	PROJECT NO.: 121132	DRAWING NO.: 5
DESIGNED BY: RPM	DATE: 2022-01-07	SCALE: 1:500	



LEGEND	
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	EX. SANITARY SEWER
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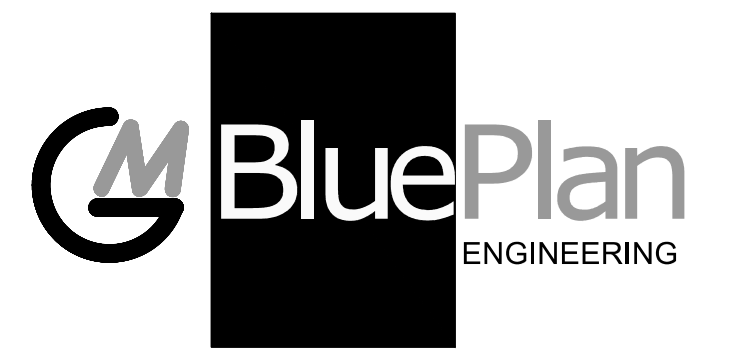
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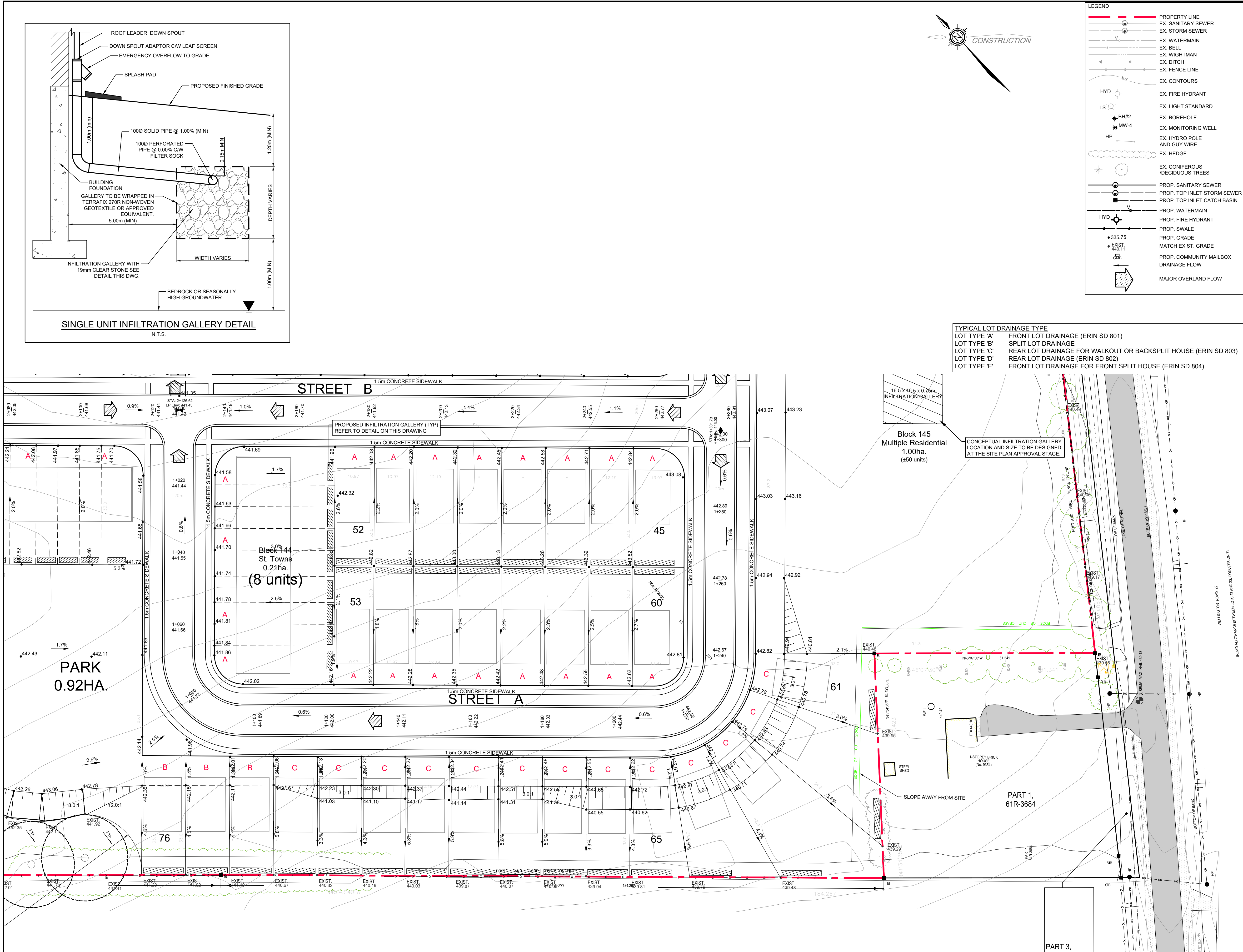
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THOMASFIELD HOMES	
TOWN OF ERIN, WELLINGTON COUNTY	
GRADING PLAN 3	
DRAWN BY: RPM	APPROVED BY: AEK
DESIGNED BY: RPM	DATE: 2022-01-07
PROJECT NO.: 121132	SCALE: 1:500
DRAWING NO.: 6	

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LEGEND

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- EX. SANITARY SEWER
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SITE BENCHMARK #1: MAGNETIC NAIL IN ASPHALT APPROX. 18m SOUTH OF SOUTH-WEST CORNER OF THE SUBJECT PROPERTY, HAVING AN ELEVATION OF 439.18m.

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PROFESSIONAL ENGINEER

Nov 7/24

A.E. KROETSCH

100072069

PROVINCE OF ONTARIO

NO.	DATE	REVISION DESCRIPTION	CHKD
1	2024-11-07	REVISED PER TOWNS COMMENTS	A.E.K.
2	2024-02-18	ADDED SIDEWALK TO BOTH SIDES OF ROADS	A.E.K.
3	2023-10-08	ISSUED FOR DRAFT PLAN APPROVAL	A.E.K.

BluePlan ENGINEERING

GUELPH | OWEN SOUND | LISTOWEL | KITCHENER | LONDON | HAMILTON | GTA

650 WOODLAWN ROAD WEST, BLOCK C, UNIT 2, GUELPH, ON N1K 1B8

TEL: 519-824-8100 www.blueplan.ca

HILLSBURGH TRAILS SUBDIVISION

9354 WELLINGTON ROAD 22

THOMASFIELD HOMES

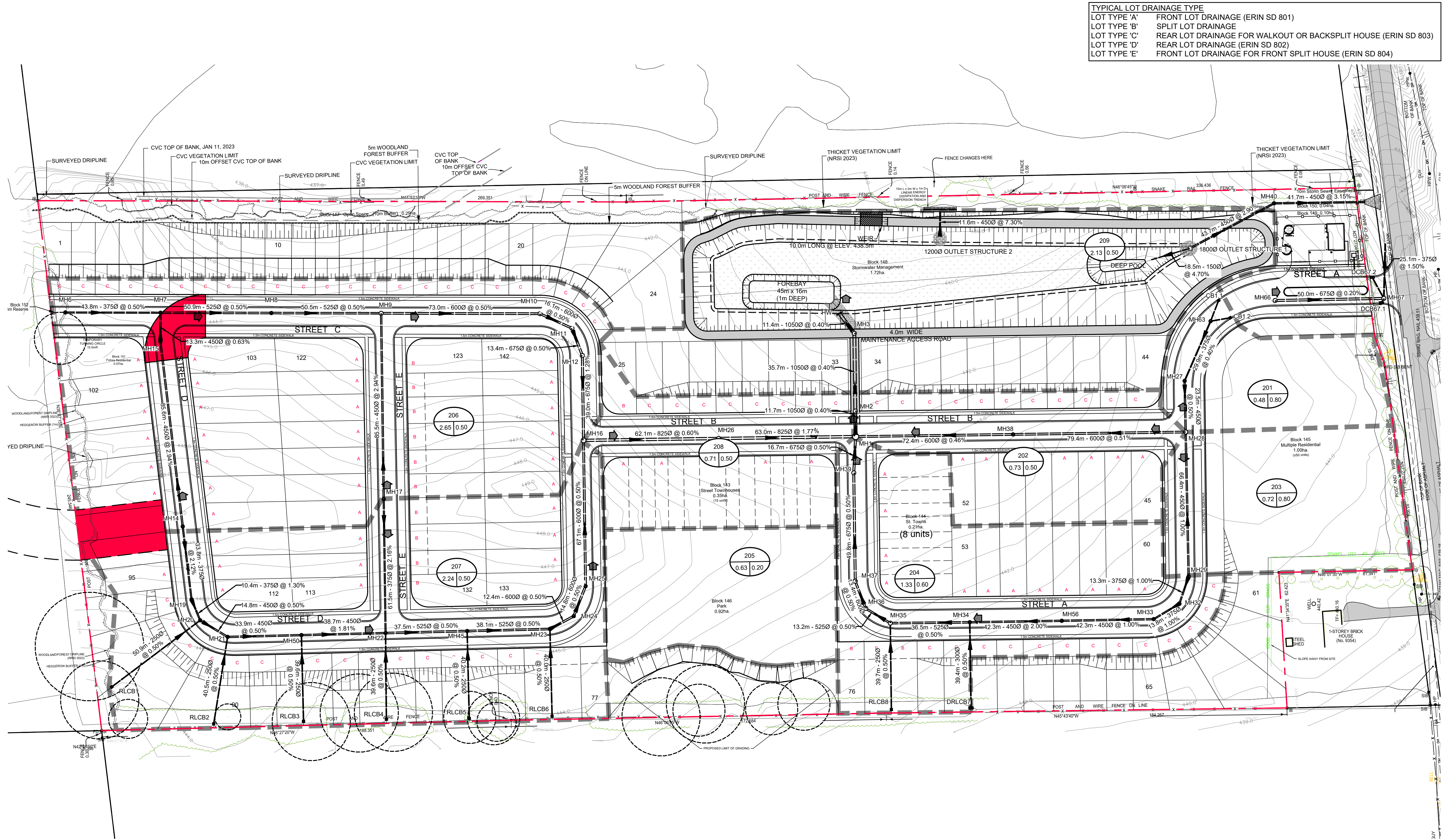
TOWN OF ERIN, WELLINGTON COUNTY

GRADING PLAN 4

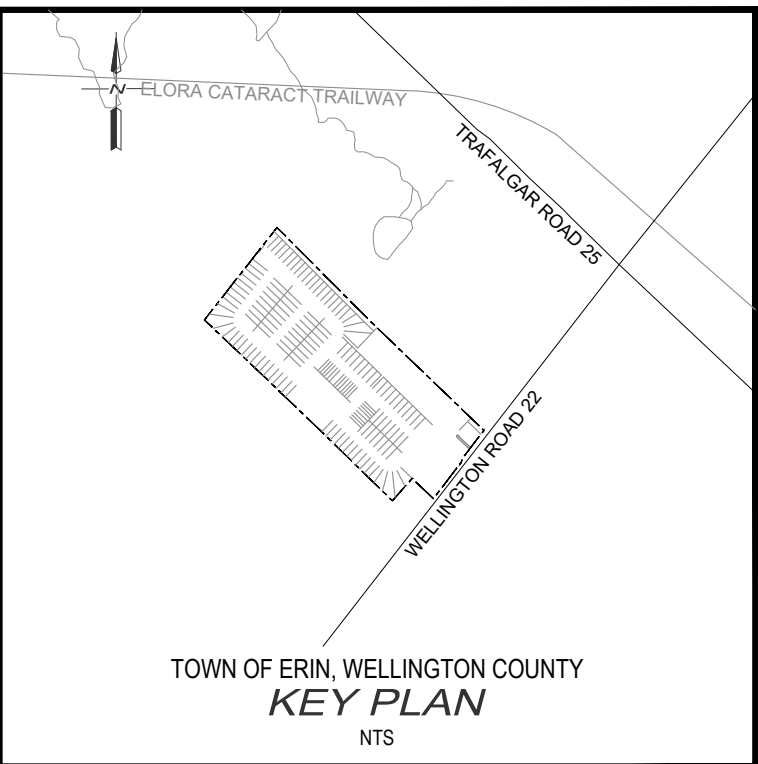
DRAWN BY:	APPROVED BY:	PROJECT NO.:	DRAWING NO.:
RPM	AEK	121132	7
DESIGNED BY:	DATE:	SCALE:	
RPM	2022-01-07	1:500	



FILE:W:\Work\THOMASFIELD HOMES, LIMITED\240161 - 121132 Hillsburgh Subdivision's Work in Progress\Drafting\Sheet\121132 STORM DRAINAGE.dwg LAYOUT STN DRAINAGE
LAST SAVED BY: Paumco070, 11/20/2024 11:57:54 AM PLOTTED BY: Paumco070, 11/20/2024 12:24:00 PM



TYPICAL LOT DRAINAGE TYPE	
LOT TYPE 'A'	FRONT LOT DRAINAGE (ERIN SD 801)
LOT TYPE 'B'	SPLIT LOT DRAINAGE
LOT TYPE 'C'	REAR LOT DRAINAGE FOR WALKOUT OR BACKSPLIT HOUSE (ERIN SD 803)
LOT TYPE 'D'	REAR LOT DRAINAGE (ERIN SD 802)
LOT TYPE 'E'	FRONT LOT DRAINAGE FOR FRONT SPLIT HOUSE (ERIN SD 804)



LEGEND	
	CATCHMENT NUMBER RUN-OFF COEFFICIENT
	CATCHMENT AREA IN HECTARES
	DRAINAGE AREA BOUNDARY
	STORM SEWER

BENCHMARKS:
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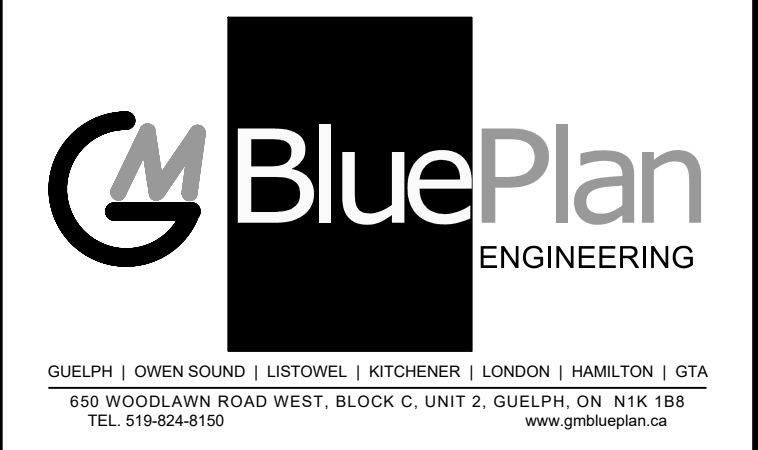
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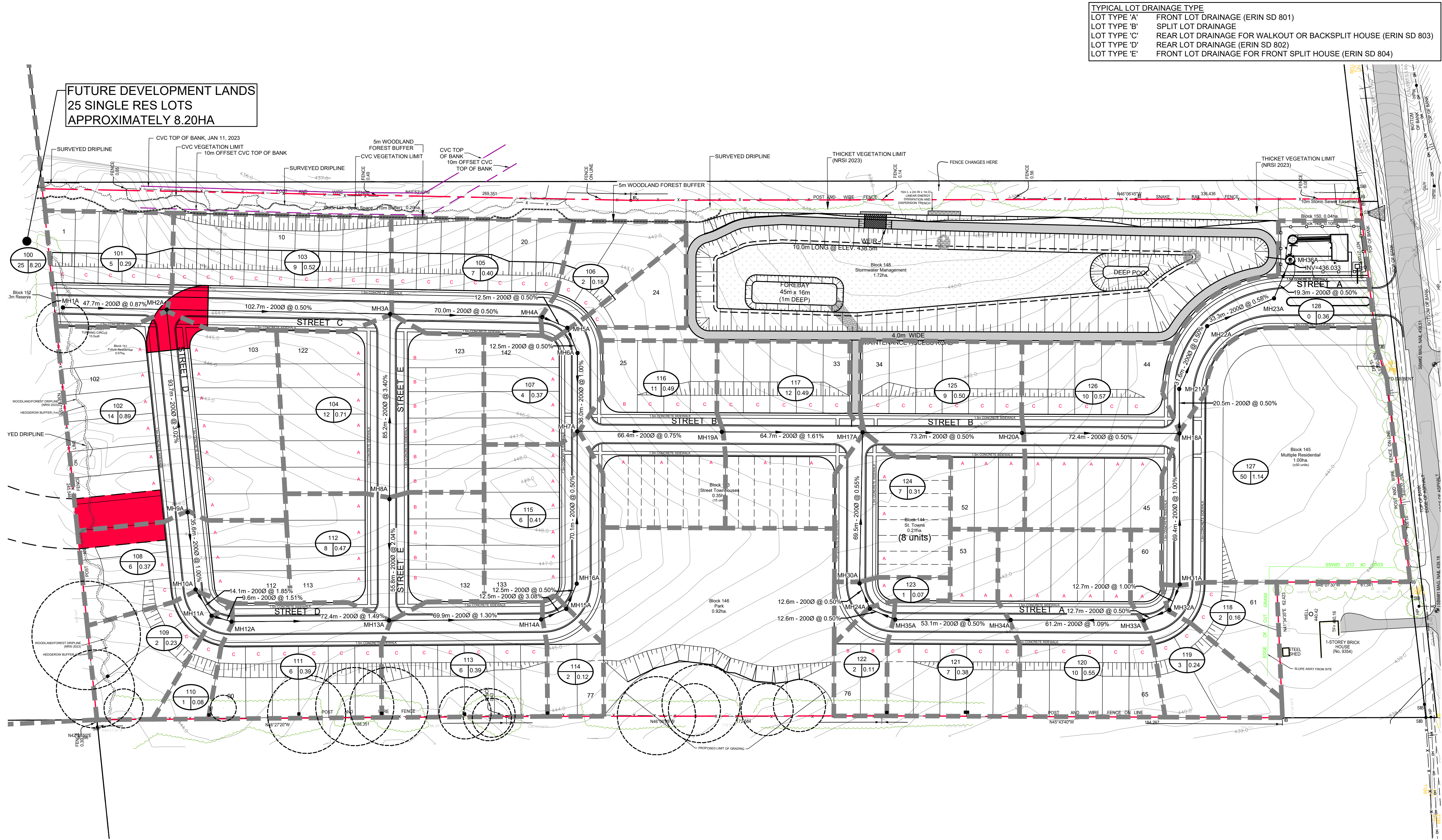


NO.	DATE	REVISION DESCRIPTION	CHKD.
1	2024-11-07	REVISED PER TOWNS COMMENTS	A.E.K.
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HILLSBURGH TRAILS SUBDIVISION 9354 WELLINGTON ROAD 22			
THOMASFIELD HOMES			
TOWN OF ERIN, WELLINGTON COUNTY			
STORM SEWER CATCHMENT AREAS			
DRAWN BY: RPM	APPROVED BY: AEK	PROJECT NO.: 121132	DRAWING NO.: 10
DESIGNED BY: RPM	DATE: 2022-01-07	SCALE: 1:1000	

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LAST SAVED BY: Paumco070, 11/20/2024 11:27:37 AM PLOTTED BY: Paumco070, 11/20/2024 12:04:06 PM



- NOTES:
1. DRAFT PLAN PREPARED BY GSP GROUP DATED MARCH 8, 2023.
 2. TOPOGRAPHIC SURVEY INFORMATION, FROM VAN HARTEN SURVEYING INC., JUNE 2016. MOST RECENTLY UPDATED, FOR CVC TOP OF BANK, JANUARY 2023.
 3. TREE INVENTORY FROM NRSI, FEBRUARY 15, 2023.
 4. MONITORING WELL DATA FROM GMPB, MARCH 2023.
 5. DIGITAL FILES NOT TO BE USED FOR LAYOUT

LEGEND

- 100 CATCHMENT NUMBER
25 2.10 AREA IN HECTARES
0 0.36 POPULATION
- DRAINAGE AREA BOUNDARY
--- SANITARY SEWER

BENCHMARKS:
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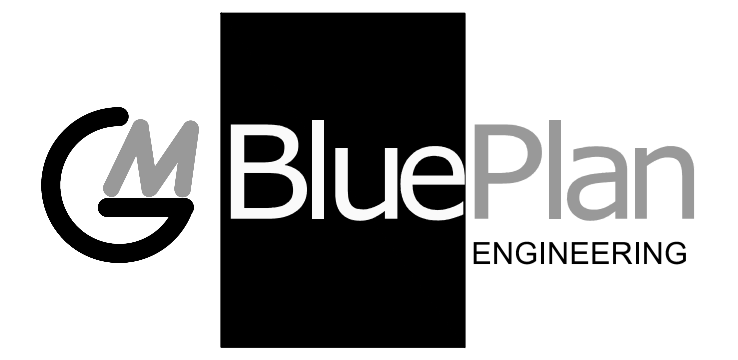
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650 WOODLAWN ROAD WEST, BLOCK C, UNIT 2, GUELPH, ON N1K 1B8
TEL: 519-824-8100 www.gspgroup.ca

HILLSBURGH TRAILS SUBDIVISION
9354 WELLINGTON ROAD 22

THOMASFIELD HOMES

**TOWN OF ERIN,
WELLINGTON COUNTY
SANITARY SEWER
CATCHMENT AREAS**

DRAWN BY : RPM	APPROVED BY : AEK	PROJECT NO. : 121132	DRAWING NO. : 11
DESIGNED BY : RPM	DATE : 2022-01-07	SCALE : 1:1000	

SITE WORKS ARE TO BE STAGED IN SUCH A MANNER THAT EROSION WILL BE MINIMIZED AND THAT BARRIERS AND SEDIMENTATION FACILITIES WITHIN THE SITE ARE PROVIDED TO CONTROL ANY EROSION THAT DOES OCCUR.

1. PRIOR TO THE ISSUANCE OF THE CONSTRUCTION PERMIT, A SEDIMENT POND OR STORAGE AREA MUST BE ESTABLISHED TO COLLECT SURFACE DRAINAGE FROM ALL AREAS THAT WILL BE DISTURBED. WATER PUMPED FROM EXCAVATION OR DEWATERING OPERATIONS MUST BE DIRECTED TO THE SEDIMENT POND.

2. ALL SILT FENCING TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY GRADING, EXCAVATION OR DEMOLITION.

3. INSTALL SILT SACK IN ALL INLET PILE CATCHBASIN AND CATCHBASIN MAINTENANCE HOLES UPON INSTALLATION.

4. INSTALL FIBRIC FABRIC BENEATH LID OF ALL MAINTENANCE HOLES UPON INSTALLATION.

5. INSTALL SILT SACK AT THE CURB INLET FOR ALL SIDE INLET CATCHBASIN AND SIDE INLET CATCHBASIN MAINTENANCE HOLES. INSTALL FILTER FABRIC BENEATH MAINTENANCE LID AND SIDE INLET CATCHBASIN.

6. CLEARING AND GRUBBING OF THE SITE SHOULD BE KEPT TO A MINIMUM AND VEGETATION REMOVED ONLY IN ADVANCED OF IMMEDIATE CONSTRUCTION.

7. STOCKPILES OF EARTH OR TOPSOIL ARE TO BE LOCATED AND PROTECTED TO MINIMIZE EROSION. STOCKPILES ARE TO BE COVERED WITH EROSION CONTROL MATS LOCATED IMMEDIATELY ADJACENT TO DITCHES OR ROAD ALLOWANCES. EROSION CONTROL FENCING IS TO BE INSTALLED AROUND THE BASE OF ALL STOCKPILES. A PERIMETER DITCH LEADING TO A SETTLING AREA OR SEDIMENTATION TRAP SHOULD BE INSTALLED AROUND THE STOCKPILE.

8. EROSION PROTECTION TO BE PROVIDED AROUND ALL STORM AND SANITARY MANHOLES, CATCH BASINS, DITCHES, SWALES AND WATERCOURSES.

9. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE DEVELOPMENT PROGRESSES. THE CONTRACTOR IS TO PROVIDE ALL ADDITIONAL EROSION CONTROL STRUCTURES.

10. THE DESIGN CONSULTANT IS TO MONITOR EROSION CONTROL STRUCTURES TO ENSURE THEY ARE MAINTAINED IN ACCORDANCE WITH THE COUNTY REQUIREMENTS.

11. EROSION CONTROL STRUCTURES ARE TO BE MONITORED REGULARLY AND ANY DAMAGE TO STRUCTURES REPAIRED IMMEDIATELY. SEDIMENTS ARE TO BE REMOVED WHEN ACCUMULATIONS REACH A MAXIMUM OF 80% OF THE FENCE. CLOGGED FILTER MATERIALS, SUCH AS CRUSHED STONE, STRAW BALES OR FILTER CLOTH MUST BE REPLACED AS REQUIRED.

12. ALL EROSION CONTROL STRUCTURES ARE TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND SURFACES HAVE BEEN STABILIZED EITHER BY PAVING OR RESTORATION OF NATURAL GROUND COVER.

13. NO ALTERNATIVE METHODS OF EROSION PROTECTION SHALL BE PERMITTED UNLESS APPROVED BY THE DESIGN CONSULTANT AND THE COUNTY.

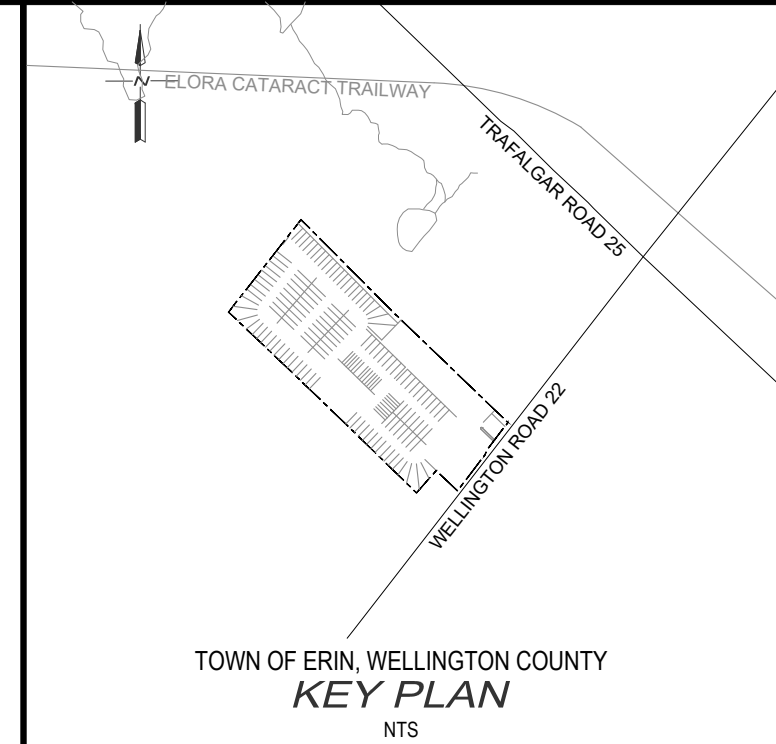
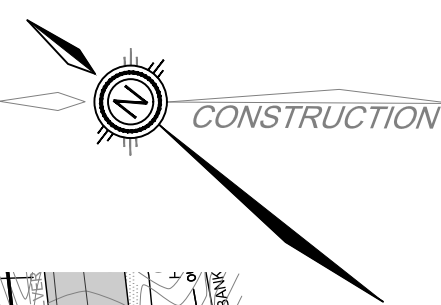
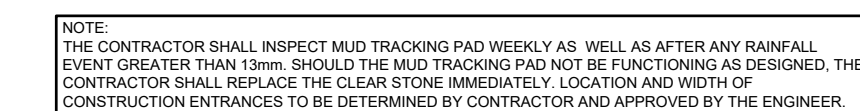
14. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF ALL TEMPORARY, PERMANENT, SIDEWALKS AREA CLEANED OF ALL SEDIMENT FROM VEHICULAR TRACKING ETC. TO AND FROM THE SITE AT THE END OF EACH WORK DAY.

15. ALL DISTURBED AREAS NOT INCLUDED IN CONSTRUCTION TO BE RE-TOPSOILED AND SEEDING TO BE COMPLETED IMMEDIATELY AFTER THE END OF CONSTRUCTION.

16. THE OWNER SHALL INSTALL AND MAINTAIN TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES DURING CONSTRUCTION AND CONDUCT WEEKLY INSPECTIONS AND AFTER EACH SIGNIFICANT STORM EVENT (A SIGNIFICANT STORM EVENT IS DEFINED AS A RAINFALL OF 1.5mm OR MORE IN ANY 24 HOUR PERIOD OF INSPECTIONS AND MAINTENANCE).

17. MAINTENANCE OF THE TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL CONTINUE UNTIL THEY ARE NO LONGER REQUIRED AND AT WHICH TIME THEY SHALL BE REMOVED AND ALL DISTURBED AREAS RENSTATED PROPERLY.

18. THE OWNER SHALL MAINTAIN RECORDS OF INSPECTIONS AND MAINTENANCE WHICH SHALL BE MADE AVAILABLE FOR INSPECTION BY THE MINISTRY, UPON REQUEST. THE RECORD SHALL INCLUDE THE NAME OF THE INSPECTOR, DATE OF INSPECTION, AND THE RESULTS OF MEASUREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES.



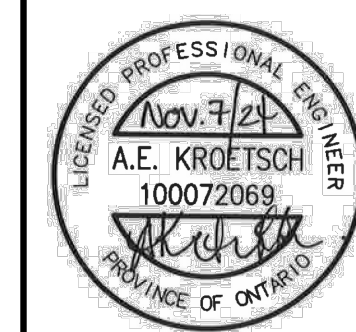
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650 WOODLAWN ROAD WEST, BLOCK C, UNIT 2, GUELPH, ON N1K 1B8
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HILLSBURGH TRAILS SUBDIVISION
9354 WELLINGTON ROAD 22

THOMASFIELD HOMES

TOWN OF ERIN, WELLINGTON
COUNTY

EROSION AND SEDIMENT CONTROL PLAN

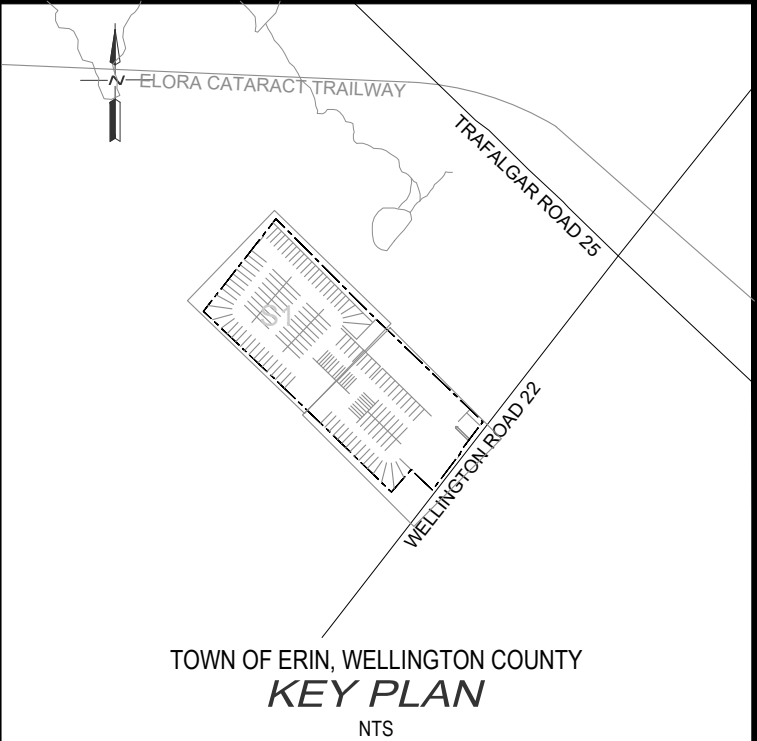
DRAWN BY : RPM	APPROVED BY : AEK	PROJECT NO. : 121132	DRAWING NO. : 12
DESIGNED BY : RPM	DATE : 2022-01-07	SCALE : 1:1000	

FURTHER DETAILS OF THE SPS TO BE PROVIDED AS PART OF THE DETAILED ENGINEERING DESIGN AND APPROVAL.

PART 4, 61R-1913

LEGEND

—	PROPERTY LINE
—	EX. STORM SEWER
—	EX. DITCH
—	EX. BELL LINE
—	EX. GAS LINE
—	EX. FENCE LINE
—	EX. CONTOURS
—	EX. CATCH BASIN
—	PR. STORM SEWER
—	PR. CATCH BASIN
—	PR. SANITARY SEWER
—	PR. WATERMAIN
—	PR. SWALE
—	EX. FIRE HYDRANT
—	EX. LIGHT STANDARD
—	HEDGE
—	CONIFEROUS AND DECIDUOUS TREES



- NOTES:
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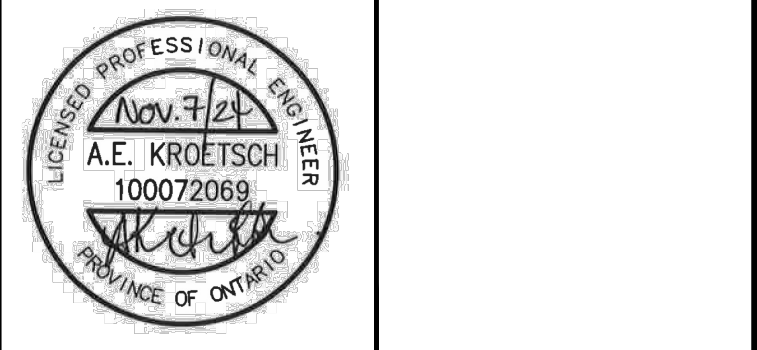
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HILLSBURGH TRAILS SUBDIVISION

9354 WELINGTON ROAD 22

THOMASFIELD HOMES

TOWN OF ERIN,
WELLINGTON COUNTY

SEWAGE PUMPING STATION
(CONCEPT ONLY)

DRAWN BY:	APPROVED BY:	PROJECT NO.:	DRAWING NO.:
RPM	AEK	121132	SPS
DESIGNED BY:	DATE:	SCALE:	
RPM	2022-01-07	1:100	